



01 PICCADILLY FACADE - ELEVATION 1 : 25

Piccadilly office windows
EWS 03 A1

Anodized (colour TBC)
Schueco curtain wall
double-glazed system
(low-iron glass), with
projecting special cover
cap profile and surrounding
metal trim

Existing concrete frame as per S/E drawings.

200mm mineral wool insulation
internally to existing facades with
vapour barrier, 50mm air
gap/50mm stud, 2 x 12.5mm
plasterboard

Existing portland stone
EWS 02 A

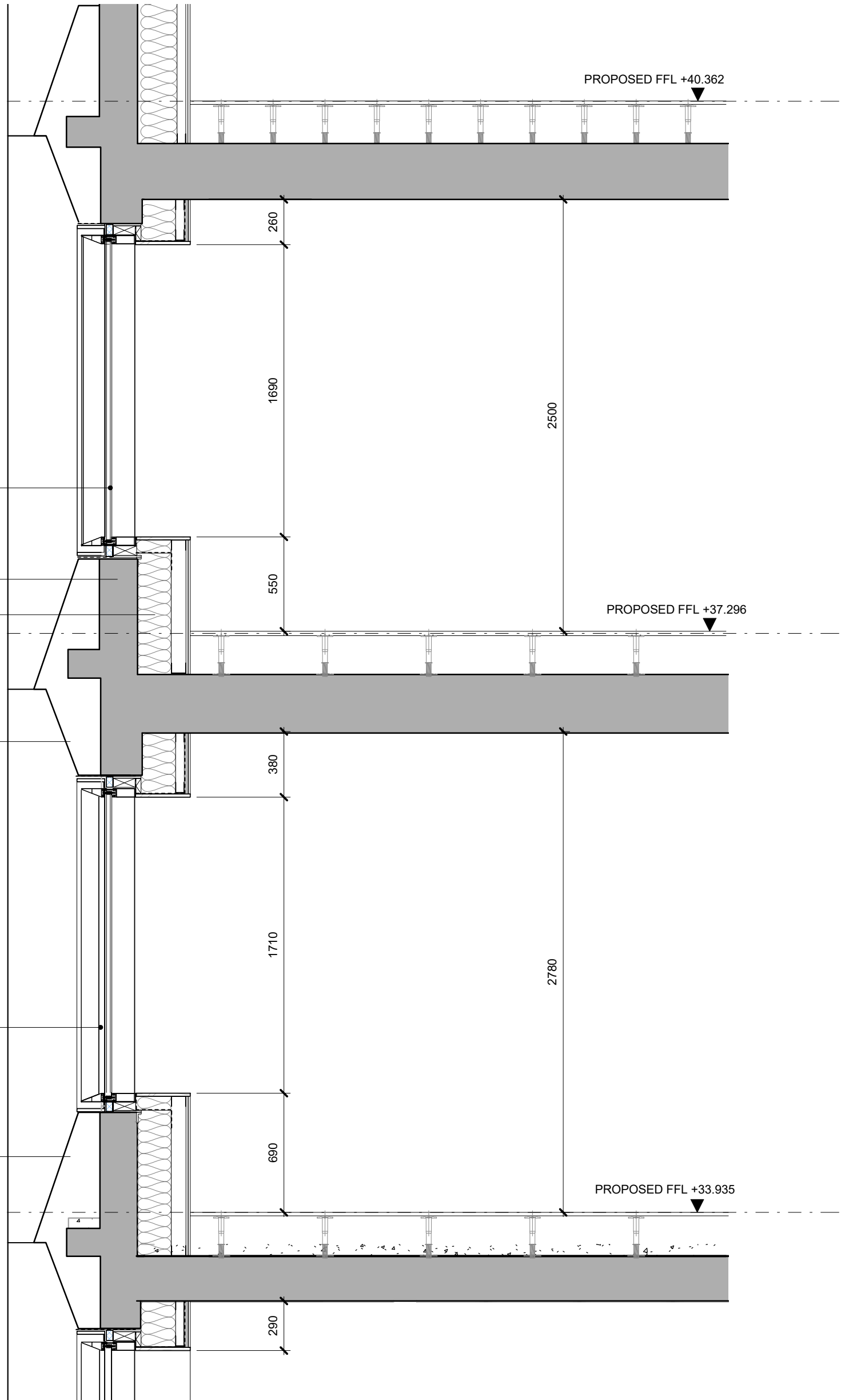
Existing Portland stone to be
cleaned and repaired

Piccadilly office windows
EWS 03 A1

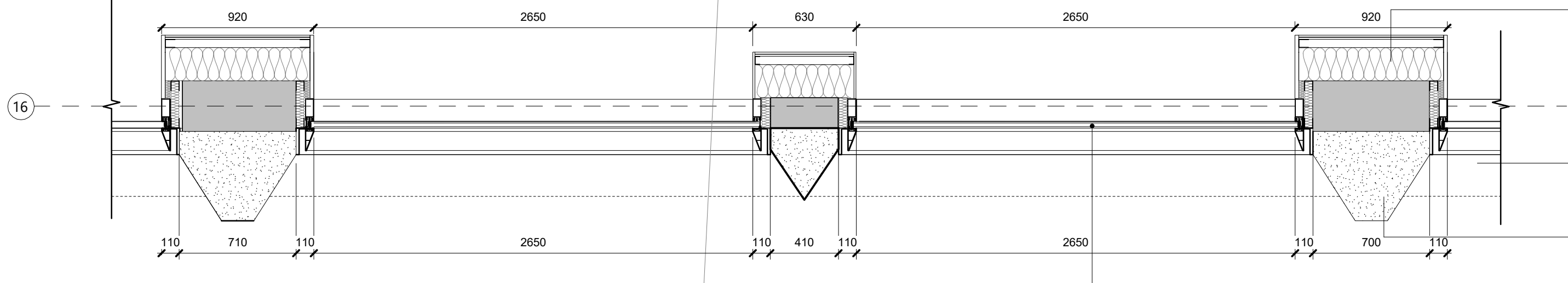
Anodized (colour TBC)
Schueco curtain wall
double-glazed system
(low-iron glass), with
projecting special cover
cap profile and surrounding
metal trim

Existing portland stone
EWS 02 A

Existing Portland stone to be
cleaned and repaired



02 PICCADILLY FACADE - SECTION 1 : 25



03 PICCADILLY FACADE - PLAN 1 : 25

200mm mineral wool insulation fixed onto
existing facade, with vapour barrier,
50mm air gap/50mm stud and
2 x 12.5mm plasterboard

Canopy (above) anodized
aluminium (colour TBC) to match
anodized glazing frame

Existing portland stone
EWS 02 A

Existing portland stone to be cleaned
and repaired

Piccadilly office windows
EWS 03 A1

KEY

REV	DATE	DESCRIPTION
T01	09/03/20	STAGE 4 ISSUE

CONSULTANTS

CLIENT:	CROSSTREE REAL ESTATE PARTNERS LLP
STRUCTURAL ENGINEER:	HEYNE TILLET STIEL
MECHANICAL ENGINEER:	HURLEY PALMER FLATT
PROJECT MANAGER:	JACKSON COLES
COST CONSULTANT:	CORE FIVE LLP
HOTEL ARCHITECT:	DEXTER MOREN ASSOCIATES
SUSTAINABILITY CONSULTANT:	EIGHT ASSOCIATES
PLANNING CONSULTANT:	DP9
PROJECT MANAGER:	JACKSON COLES
ACOUSTIC CONSULTANT:	HANN TUCKER

NOTE

When this drawing is issued in uncontrolled CAD format it will be accompanied by a PDF version and is issued to enable the recipient to prepare their own documents / models / drawings for which they are solely responsible.
The recipient should report all drawing errors, omissions and discrepancies to the architect. All dimensions should be checked on site by the contractor and such dimensions shall be the contractor's responsibility.

Allford Hall Monaghan Morris Limited accepts no responsibility or liability for:-
- any use of this drawing by parties other than the party for whom it was prepared or for purposes other than those for which it was prepared
- any alterations or additions to or discrepancies arising out of changes to the background information on which the drawings are based that was current at the time of issue, and which occur to that information after it has been issued by AHMM
- any loss or degradation of the information held in this drawing resulting from the translation from the original file format to any other file format or from the recipient's reading of it in any other programme or any version of the programme other than that which was used to prepare it
- the accuracy of survey information provided by others or for any costs, claims, proceedings and expenses arising out of reliance on such information
- any scaling from this drawing other than by the local planning authority solely for the purposes of the planning application to which it relates

ALLFORD HALL MONAGHAN MORRIS

ARCHITECTS LTD
MORELANDS, 5-23 OLD STREET LONDON EC1V 9HL
TEL 020 7251 6261 FAX 020 7251 5123 WEB WWW.AHMM.CO.UK

job title
BERKELEY STREET

drawing title / location
**PICCADILLY DETAILS (TYPICAL) EWS
02 A & EWS 03 A**

drawn by	checked	scale	status
MH	BB	1 : 25@A1	TENDER

project	zone	source	classification	drawing no.	revision
16014		A	(21)_401	T01	